

Mayor Sylvia J. Murphy, District 5
Mayor Pro Tem Danny L. Kolhage, District 1
Michelle Coldiron, District 2
Heather Carruthers, District 3
David Rice, District 4

The committee's recommended selections are shown in the attachments as well as selected excerpts from the proposals. Pending satisfactory responses from RAS, that attachments reflect the committee's recommendations. The committee recommends that the County enter contracts with the selected vendors for the units shown.

Tiny House RFP Review

OVERALL RANKING SHEET

OVERALL RANKING SHEET				
Vendor	Type	Site	1st Choice	
Advanced construction	755 SF	Big Coppitt		
Advanced construction	1,012 SF	Cudjoe	Y	\$189,699
Cornerstone	360 SF	Key Largo	Y	\$101,197
Cypress	1,175	Big Coppitt		
Cypress	1,175	Cudjoe		
Cypress	1,175	Ramrod		
Cypress	1,175	Key Largo		
Cypress	1.094	Big Coppitt		
Cypress	1.094	Cudjoe		
Cypress	1.094	Ramrod		
Cypress	1.094	Key Largo		
Cypress	760	Big Coppitt	Y	\$212,000
Cypress	760	Ramrod		
Cypress	760	Key Largo		
Ducky Johnson	864 SF	Big Coppitt		
Ducky Johnson	864 SF	Cudjoe		
Ducky Johnson	864 SF	Ramrod		
Ducky Johnson	864 SF	Key Largo		
RAS	640 / 640 SF	Big Coppitt		
RAS	640MT / 960 SF	Cudjoe		
RAS	960 / ?? SF	Ramrod	Substitute Series 640	\$153,600
RAS	320 SF	Key Largo		
Tomca Kier	1,560 SF	Big Coppitt		
Tomca Kier	1,560 SF	Cudjoe		
Tomca Kier	1,560 SF	Ramrod		
Tomca Kier	1,560 SF	Key Largo		
TOTAL =				\$656,496

Cudjoe

Advanced Construction Technologies, LLC

3706 North Roosevelt Boulevard; Suite 208; Key West, FL 33040

(855) 336-5354 www.PermaHousing.com



September 25, 2018

Monroe County Board of County Commissioners
c/o Purchasing Department
1100 Simonton Street; Room 2-213
Key West, FL 33040

Ladies and Gentlemen:

re: **Proposal for Construction and Demonstration of a Tiny House for Cudjoe Key**

Advanced Construction Technologies, LLC ("ACT") is pleased to present the attached Proposal in response to the Request For Proposals for the "Tiny House" program for Monroe County.

We believe that our unique and proprietary concrete panel construction systems and technologies used to create our **PermaHousesm** residential homes will offer a permanent and "rock solid" solution for affordable housing in the Florida Keys in areas prone to natural disasters (hurricanes, earthquakes, fires, floods, etc.), and the house we propose for Cudjoe Key will make an ideal "Tiny House" for demonstration at that venue.

ACT is a newly formed Florida company (LLC) with its headquarters office in Key West, and was established to act as a general contractor to build **PermaHousesm** residential homes, including single family, duplexes and quadraplexes, primarily in the Florida Keys, but also in other areas of Florida. All of our **PermaHousesm** residential homes are based on the proprietary concrete panel products and construction technologies produced by Gulf Concrete Technologies, LLC, of Long Beach, MS, the largest manufacturer of these products in the United States.

The majority of the membership interests of ACT is owned by Gulf Concrete Technologies, LLC, and the CEO of Gulf Concrete Technologies, Edgar Figueroa, also serves as the CEO of ACT. Further, Mr. Figueroa is the CEO of Ecologia Carmelo in Puerto Rico which is the largest locally owned quarrying and constructions materials enterprise in Puerto Rico. Mr. Figueroa has had extensive experience with the concrete panel construction for "disaster-proof" residential homes in Puerto Rico, and the Gulf Concrete Technologies panels have been used extensively by residential building contractors in the U. S.

The formation of Advanced Construction Technologies as a general contractor in Key West under the sponsorship of Gulf Concrete Technologies marks the first time that Gulf Concrete Technologies' proprietary concrete panels will be vertically integrated into a proprietary **PermaHousesm** residential home "product" that offers the following advantages over traditional "stick built" houses:

- "rock solid" monolithic, all concrete construction that exceeds IBC, state and local standards for resistance to hurricanes, earthquakes, fire, flooding, etc.

- significantly contracted time to build and finish resulting in faster delivery times and real cost savings

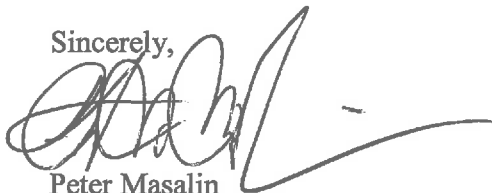
- energy efficient with significantly lower lifetime maintenance costs

It is important to note that Gulf Concrete Technologies, LLC is federally certified as a minority-owned business, and an additional membership owner in Advanced Construction Technologies, LLC likewise has a minority-owned business designation. Based on 60% of the ownership of ACT being minority-owned, we intend to qualify ACT as a minority-owned enterprise.

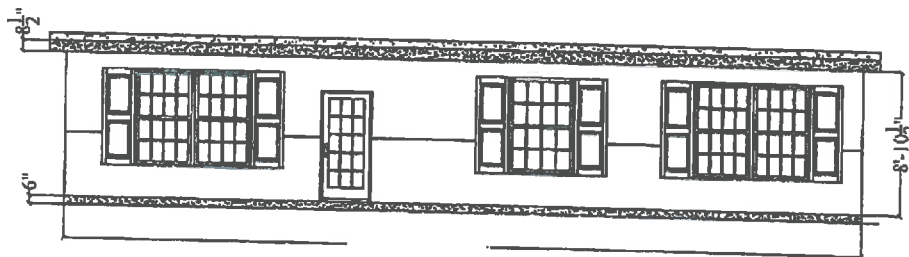
In closing, we chose Monroe County and Key West as an ideal venue to establish the headquarters of ACT, and whereas we will also operate in other areas of Florida, our primary focus will be the Florida Keys as we feel we have the best new housing solution for this area. We are represented by the Smith Hawkes law firm in Key West, and our insurance agency is United Atlantic Insurance Group in Key West. We intend to be a good neighbor in Monroe County, and appreciate the warm welcome we have received to date.

Given that we are new and that you may have additional questions, please feel free to call me on my direct cell number **904 962-0556**.

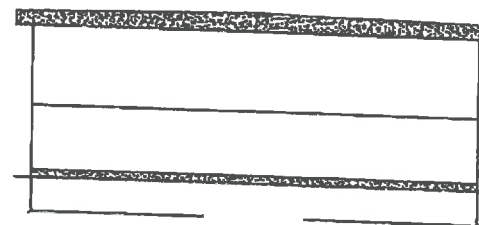
Sincerely,

A handwritten signature in dark ink, appearing to read 'Peter Masalin', with a long horizontal flourish extending to the right.

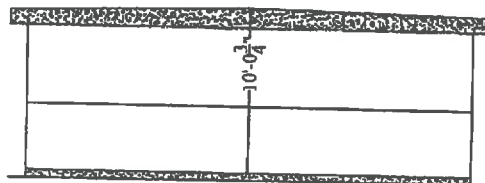
Peter Masalin
Executive Vice President/Administration



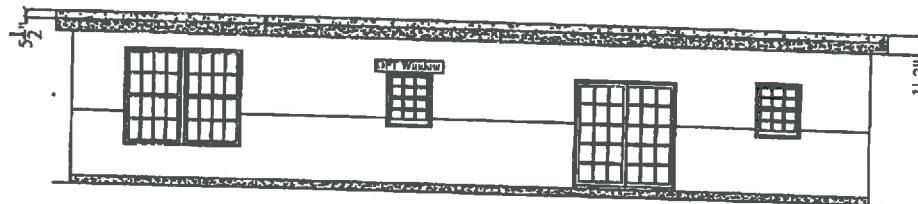
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

ELEVATION NOTES:

- 1) DOOR STYLES, WINDOW GRILL PATTERNS/SIZES AND OTHER SIMILAR ITEMS SHOWN MAY NOT REFLECT ACTUAL PRODUCT INSTALLED IN HOME.
- 2) SOME TRIM AND ACCENT FEATURES MAY NOT BE INCLUDED. PLEASE REFER TO THE SALES ORDER FORM FOR INCLUDED MATERIALS.



4739 W. Chock Rd
Long Beach, MS
39500

Ph. 228-575-3500
Fax. 228-575-3525



The Residence Of
Pre-Engineered
House Model 001

ELEVATION
VIEWS

MUJ
1000-1000
01 MAY 2017
WJR
WJR

Sheet
3A

Technical Evaluation Report (TER)

- 4.7. GCT panels consisting of an EPS core and galvanized wire mesh are prefabricated and delivered to the jobsite where they are installed. The high-strength mortar and concrete are then applied on the jobsite.

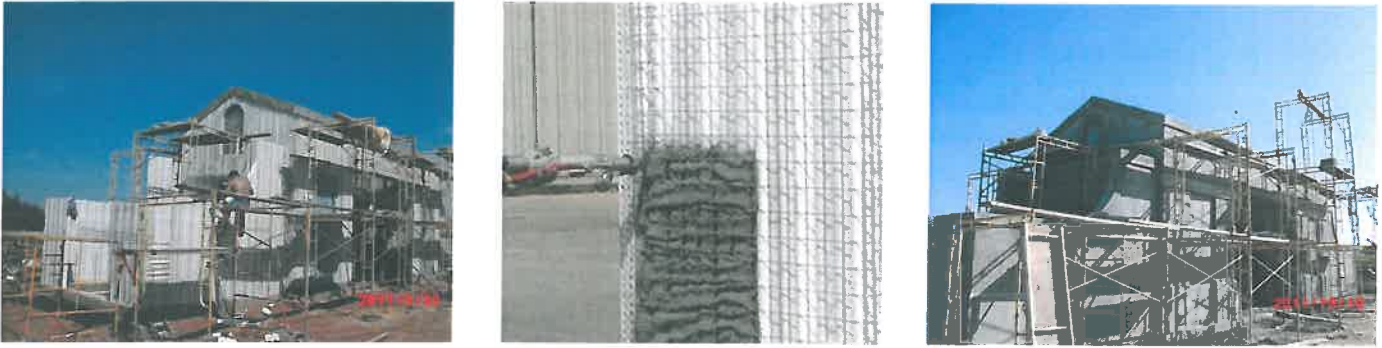


Photo 1: Examples of GCT Insulated Concrete Panels

4.8. Material

4.8.1. EPS Core

- 4.8.1.1. The EPS foam core is made up of Type I EPS foam boards conforming to *ASTM C578*.
- 4.8.1.2. The EPS core is molded into proprietary shapes, which vary depending on the intended application (i.e., wall, floor or roof application).
- 4.8.1.3. The EPS core thickness varies depending on the application as described in [Section 4.2](#) to [4.6](#).
- 4.8.1.4. The EPS core has the following characteristics:
- 4.8.1.4.1. Minimum Density: 0.9 lbs./cf
 - 4.8.1.4.2. Flame Spread Index²: 25 or less
 - 4.8.1.4.3. Smoke Developed Index²: 450 or less

4.8.2. Steel Welded Wire Mesh

- 4.8.2.1. The galvanized steel welded wire mesh is made from steel with a minimum yield of 85 ksi and a minimum fracture of 95 ksi, and it also complies with *ACI 318-14* Section 20.2.1.7 and [IBC Section 1903](#).
- 4.8.2.2. Longitudinal or principal direction wires are 3.0 mm (11 gauge) in thickness and have an equivalent spacing of 3.0" o.c.
- 4.8.2.3. Transverse or secondary direction wires are 2.5 mm (13 gauge) in thickness and have a uniform spacing of 2.6" o.c.
- 4.8.2.4. The front and back wire mesh layers are tied together along the longitudinal direction in six (6) rows with 3.0 mm (11 gauge) wire.

4.8.3. Other Reinforcement

- 4.8.3.1. Where required, deformed steel reinforcement bars are used, which have a minimum yield stress of 60 ksi and comply with *ACI 318-14* Section 20.2.1.7 and [IBC Section 1903](#).

4.8.4. Mortar Application

- 4.8.4.1. Carmelo Structural Mortar Mix is recommended for application on the GCT insulated concrete panels because it has a compressive strength of 4,000 psi.
- 4.8.4.1.1. Other structural mortar mixes may be used if they provide strength and stiffness that are at least equivalent to the Carmelo Structural Mortar Mix and as described in [Section 4.8.4.4.1](#).
- 4.8.4.2. Carmelo Structural Mortar Mix is a single component Portland cement-based plaster containing additives to enhance its bonding strength.

²When tested in accordance with *ASTM E84* in a 4" thickness and maximum 1.0 pcf density.

Technical Evaluation Report (TER)

5.9. Impact Testing

- 5.9.1. GCT PSM panels were tested in accordance with *TAS 201 – Impact Test Procedures* and meet the missile impact test criteria for wind-borne debris in High Velocity Hurricane Zones (HVHZ) in accordance with *2014 Florida Building Code (FBC) Section 1626*.
- 5.9.1.1. The PSM panels resisted the impact of the 9-lb. 2x4 missile propelled at 50 ft./s (34 mph) without any noteworthy damage to the backside of the panel.
- 5.9.2. Testing in accordance with *TAS 203 – Criteria for Testing Products Subject to Cyclic Wind Pressure Loading* is outside the scope of this TER.
- 5.9.3. GCT PSM and PSG panels are deemed to comply with the impact testing requirements for installation in HVHZ in accordance with *FBC Section 1626* when a minimum concrete cover of 2" is applied to the exterior side of the panel.
- 5.9.3.1. *FBC Section 1626.4* states that the following construction assembly is deemed to comply:
Exterior reinforced concrete elements constructed of solid normal weight concrete (no voids), designed in accordance with Chapter 19 (High-Velocity Hurricane Zones) of this code and having a minimum 2-in. (51 mm) thickness.

5.10. Ballistics

- 5.10.1. GCT PSM panels were tested in accordance with *ANSI/UL 752-05 – Standard for Bullet-Resisting Equipment* (modified) for non-metallic, protection Level 3, see [Photo 3](#).
- 5.10.1.1. Level 3 provides protection from 240 grain, .44 Magnum rounds without any penetration or spalling on the backside of the panel.
- 5.10.2. GCT PSM panels satisfied the ballistic resistance requirements of National Institute of Justice (NIJ) Standard-0108.01, Level III-A.
- 5.10.2.1. Level III-A protection can resist .44 Magnum and Submachine Gun 9 mm rounds and provides protection against most types of handguns.

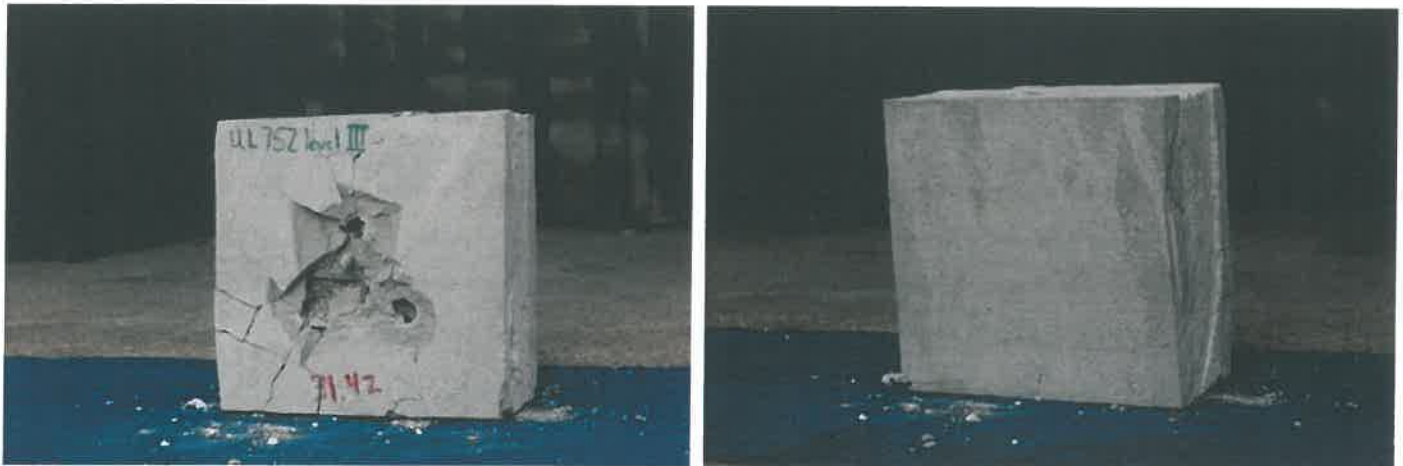


Photo 3: Front & Back of Panel from Ballistics Test

5.11. Seismic Design

- 5.11.1. Structures shall be designed for seismic forces in accordance with [IBC Section 1613](#).
- 5.11.1.1. Seismic design for GCT floor, wall and roof insulated concrete panels shall not be required in buildings exempt from seismic design in accordance with [IBC Section 1613](#).
- 5.11.2. [Table 12](#) provides seismic design coefficients (SDC) that conform to the requirements in *ASCE 7-10* Section 12.2.1 and Table 12.2-1 for design of shear walls in buildings that require seismic design in accordance with *ASCE 7* (i.e., all seismic design categories).

Big Coppitt



The Cypress Group

"Tiny House" Construction and Demonstration
Monroe County Florida BOCC

Proposal From: Cypress Community Development Corporation

Section 00120

1. Proposal Form

- A. Cypress Community Development Corporation ("Cypress") is a Louisiana based non-profit corporation. Cypress is a program management and real estate development firm with vast residential development expertise. Cypress aims to service three key stakeholders with its recovery housing solutions: the contracting agency, the families living in the homes, and the taxpayers funding the effort.
- B. There are three (3) Directors/members of the non-profit corporation: J. Patrick Cave, Jennifer Monk, and Marianne Cusato
- C. Relevant Experience:
 - i. Cypress was initially founded in 2006 to contribute to the housing recovery efforts necessitated by Hurricane's Katrina and Rita. The firm has distinguished itself through its leadership of the \$74.5M FEMA Alternative Housing Pilot Program in Louisiana ("AHPP"). Thru AHPP Cypress led the development of 470 permanent, single family homes of various manufacturing and site built housing across south Louisiana with over a dozen nonprofit partners.
 - 1. Jackson Barracks, New Orleans, LA
\$16M Project, Completed infrastructure to site and construction of 92 single and multifamily units on Louisiana Military Department land
 - 2. Hidden Cove, Baton Rouge, LA
\$5.3M Project, Completed construction of 42 single family homes
 - 3. Fields Subdivision, Lake Charles, LA
\$4.3M Project, Completed construction of 34 single family homes
 - 4. Fischer Housing Development, New Orleans, LA
\$18M Project, Completed partial infrastructure to site and construction of 124 single family homes in conjunction with the Housing Authority and HUD funds
 - 5. Lake Charles Scattered, Lake Charles, LA
\$4.8M Project, constructed 36 single family units
 - 6. Harbor Estates, Westwego, LA
\$3.4M Project, constructed 27 single family units
 - 7. New Orleans Scattered, New Orleans, LA
\$20M Project, constructed 137 single family units



The Cypress Group

- ii. Cypress Park, Baton Rouge, infill development of 13 single family homes. This development recognized by the US Treasury Department as the first development to use New Markets Tax Credits to develop for sale workforce housing
 - iii. Keys Cottages, Big Pine Key, FL. Currently constructing 9 single family units for the Florida Keys Community Land Trust after Hurricane Irma
 - iv. Sonoma County Wildfire Cottages, Santa Rosa, CA. Currently constructing 10 single family units for Habitat for Humanity of Sonoma County after the 2017 wildfires
 - v. Barbuda Cottages, Caribbean nation of Antigua and Barbuda, Leeward Islands. Currently constructing +/- 22 homes for the Prince's Foundation, a nonprofit charity founded by HRH The Prince of Wales, after Hurricane Irma
- D. Cypress Community Development Corporation has been operated since March 2015 under the current name, approximately 3.5 years. Previously the entity operated under Cypress Workforce Housing Corporation, Cypress Cottage Partners, and Cypress Realty Partners, LLC.
- E. Attached forms
- F. Customer References:
- i. Rockville Housing Enterprises, Jessica Anderson, Executive Director, 621 A Southlawn Lane, Rockville, MD 20850. (301) 424-6265
 - ii. Habitat for Humanity of Sonoma County, John Kennedy, Chairman & Interim CEO, 3273 Airway, Drive Suite E, Santa Rosa, CA 95403. (707) 578-7707
 - iii. Florida Keys Community Land Trust, Michael Laurent, Executive Director, 3216 Catherine Street, Summerland Key, FL 33042. (678) 778-5420
- Credit References:
- iv. First Bank and Trust, Kelley Bellue, 8383 Jefferson Hwy., Baton Rouge, LA. 70809. (225) 706-3424
 - v. Manley DeBoer Lumber, Melinda Phillips, 1109 Eaton Street, Key West, FL 33040. (305) 294-5900
 - vi. United Bank, 1101 Wisconsin Ave NW, Washington, DC 20007. (202) 965-1717
- G. Financial Statement attached for 2017 and 2018. In previous years this entity was not operating under this name, if necessary financial statements for previous entity Cypress Realty Partners can be provided for 2007 thru last year.

"TINY HOUSE" CONSTRUCTION AND DEMONSTRATION

SECTION 00120 (cont'd) PROPOSAL FORM

PROPOSAL TO:

MONROE COUNTY BOARD OF COUNTY COMMISSIONERS
c/o PURCHASING DEPARTMENT
1100 SIMONTON STREET
ROOM 2-213
KEY WEST, FLORIDA 33040

PROPOSAL FROM:

Cypress Community Development Corp

"Tiny House" type:

2 bed 1 bath Key Cottage

Specific Site:

Big Coppitt site

The undersigned, having carefully examined the Work and reference Drawings, Specifications, Proposal, and Addenda thereto and other Contract Documents for the construction of:

"TINY HOUSE" CONSTRUCTION AND DEMONSTRATION

and having carefully examined the site where the Work is to be performed, having become familiar with all local conditions including labor affecting the cost thereof, and having familiarized himself/herself with material availability, Federal, State, and Local laws, ordinances, rules and regulations affecting performance of the Work, does hereby propose to furnish all labor, mechanics, superintendents, tools, material, equipment, transportation services, and all incidentals necessary to perform and complete said Work and work incidental hereto, in a workman-like manner, in conformance with said Drawings, Specifications, and other Contract Documents including Addenda issued thereto.

The undersigned further certifies that he/she has personally inspected the actual location(s) of where the Work is to be performed, together with the local sources of supply and that he/she understands the conditions under which the Work is to be performed. The successful proposer shall assume the risk of any and all costs and delays arising from the existence of any subsurface or other latent physical condition which could be reasonably anticipated by reference to documentary information provided and made available, and from inspection and examination of the site.

The Base Proposal shall be furnished below in words and numbers. If there is an inconsistency between the two, the Proposal in words shall control.

Two-hundred twelve thousand

Dollars.

(Total Base Proposal- words)

\$ 212000.00

Dollars.

(Total Base Proposal - numbers)

N.B.: Submit one (1) PROPOSAL FORM for each site specific proposal. If more than one (1) type is proposed for a site, submit a separate PROPOSAL FORM for each type / site combination.

Cypress Community Development Corp.

NOT FOR CONSTRUCTION

Key Largo



1687 Timocuan Way
Suite 101
Longwood FL 32750

September 18, 2018

Kevin G. Wilson,

Thank you for the opportunity to bid the Tiny House Construction and Demonstration.

The enclosed documents represent our bid for the Key Largo site but could be used on all sites other than the Ramrod Key site which has HOA requirements that we can't satisfy with our homes (I.E. 1000 square foot, concrete construction). The only possible consideration on the Cudjoe Key and Big Coppitt Key sites would be the additional mileage costs and site conditions.

Our homes are pre-manufactured to meet the requirements of the Florida Building Code and approved by state level plans examiners. Our shop-built homes are inspected by state appointed, 3rd party engineers prior to delivery greatly reducing your county inspector's work load. The site inspections needed would be limited to final plumbing, final building, termite, mono slab and a couple of other inspections required by your county. Framing, sheathing, final electric, HVAC, and roofing among others are already completed. We are the only manufacturer to date (according to the state plans examiners) that have gone to this length with modular construction. We bypassed park model and mobile home standards to achieve Florida Building Code compliance. In the eyes of the State of Florida, our homes are considered to be legal single-family dwellings. We have had several dozen of our homes withstand Hurricane Irma without a single incident of damage. Our homes are built very much like a site-built home with the exception of the addition of a floor system for transportation reasons.

The enclosed package is complete with one exception. Without soil testing on each lot, we weren't comfortable including a proposal security (Bid Bond). I assure you that if we win the proposal, we will secure whatever type of surety bond you would require.

All impact fees and permit fees are based on phone conversations with Monroe County employees and your fees calculator on your website (included in bid).

We feel this bid is as honest and concise as we could manage, and we hopefully look forward to further conversations with you and your department.

Regards,

Brett Hiltbrand, CEO
Cornerstone Design/Build dba Cornerstone Tiny Homes

"TINY HOUSE" CONSTRUCTION AND DEMONSTRATION

SECTION 00120 (cont'd) PROPOSAL FORM

PROPOSAL TO:

**MONROE COUNTY BOARD OF COUNTY COMMISSIONERS
c/o PURCHASING DEPARTMENT
1100 SIMONTON STREET
ROOM 2-213
KEY WEST, FLORIDA 33040**

PROPOSAL FROM: Cornerstone Design/Build

"Tiny House" type: Florida Building Code Compliant Tiny Home

Specific Site: Key Largo but could be used on other sites

The undersigned, having carefully examined the Work and reference Drawings, Specifications, Proposal, and Addenda thereto and other Contract Documents for the construction of:

"TINY HOUSE" CONSTRUCTION AND DEMONSTRATION

and having carefully examined the site where the Work is to be performed, having become familiar with all local conditions including labor affecting the cost thereof, and having familiarized himself/herself with material availability, Federal, State, and Local laws, ordinances, rules and regulations affecting performance of the Work, does hereby propose to furnish all labor, mechanics, superintendents, tools, material, equipment, transportation services, and all incidentals necessary to perform and complete said Work and work incidental hereto, in a workman-like manner, in conformance with said Drawings, Specifications, and other Contract Documents including Addenda issued thereto.

The undersigned further certifies that he/she has personally inspected the actual location(s) of where the Work is to be performed, together with the local sources of supply and that he/she understands the conditions under which the Work is to be performed. The successful proposer shall assume the risk of any and all costs and delays arising from the existence of any subsurface or other latent physical condition which could be reasonably anticipated by reference to documentary information provided and made available, and from inspection and examination of the site.

The Base Proposal shall be furnished below in words and numbers. If there is an inconsistency between the two, the Proposal in words shall control.

One hundred one thousand, one hundred ninety seven thousand Dollars.

(Total Base Proposal- words)

See detailed pricing sheet attached to this section.

\$ 101,197.00 Dollars.

(Total Base Proposal – numbers)

N.B.: Submit one (1) PROPOSAL FORM for each site specific proposal. If more than one (1) type is proposed for a site, submit a separate PROPOSAL FORM for each type / site combination.



Michael D. Staley
Professional Engineer
No. 70921

BRETT HILTBRAND
667 CHULUOTA ROAD
OVIDO, FL 32765
10-21-31-515-0000-0400

DATE:

SCALE: 3/8"=1'-0"

SHEET CONTENTS:

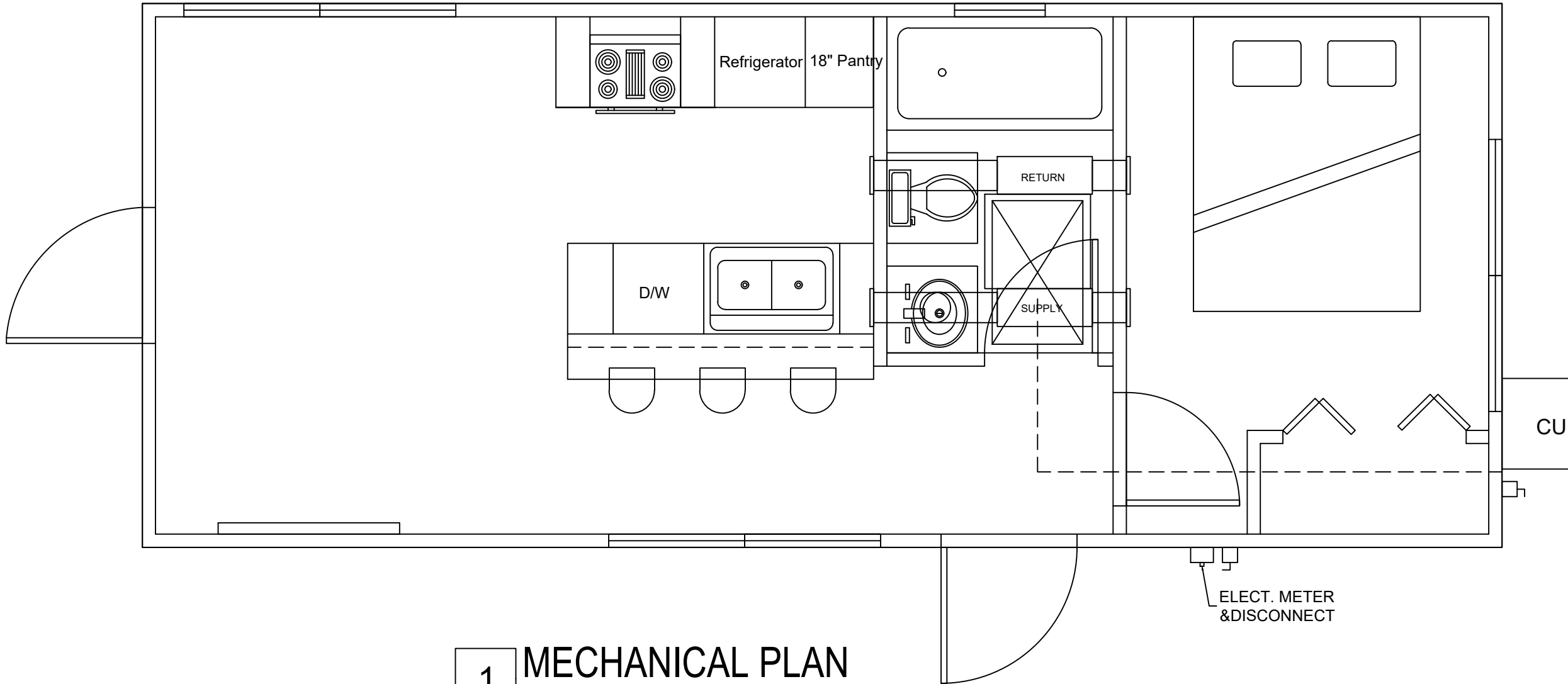
MECHANICAL

ENGINEER

DRAFTER

SHEET NUMBER:

M1



1

MECHANICAL PLAN

SCALE: 3/8" = 1'-0"

MECHANICAL NOTES

HVAC SYSTEM SHALL BE A FUJITSU DUCTED MINI SPLIT, 12,000 BTU, 22.7 SEER AOU12RLFF FLOOR MOUNTED HEAT PUMP WITH 20.0 SEER SLIM DUCT ARU12RLF AIR HANDLER OR EQUIVALENT SYSTEM. THE HEAT PUMP IS LOCATED ON THE EXTERIOR, BEDROOM, END WALL. THE AIR HANDLER IS LOCATED ABOVE THE BATHROOM CEILING. PROVIDE (1) 20AMP DP 240V CIRCUIT TO THE HEAT PUMP. SEE ELECTRICAL NOTES AND ELECTRICAL SHEETS FOR MORE DETAILS.

HOT WATER SYSTEM SHALL BE AN ECO 18 SINGLE PHASE ELECTRIC TANKLESS WATER HEATER OR EQUAL. THE WATER HEATER SHALL BE INSTALLED UNDER THE KITCHEN SINK. PROVIDE (2) 40 DP 240V CIRCUITS. SEE ELECTRICAL NOTES AND ELECTRICAL SHEETS FOR MORE DETAILS.

Glazing and Ventilation Requirements

		SF	Required Glazing 8%	Provided Glazing		Required Ventilation 4%	Provided Ventilation 4%	
Living/Kitchen		219.5	17.56	51	OK	8.78	17	OK
Bathroom		35	2.8	5.1	OK	1.4	1.7	OK
Bedroom		105.5	8.44	25.5	OK	4.22	8.5	OK

Glazing is assumed to be 85% of the nominal window dimension

Ventilation is assumed to be 1/3 of glazing area on operable windows

Ramrod

"TINY HOUSE" CONSTRUCTION AND DEMONSTRATION

SECTION 00120 (cont'd) PROPOSAL FORM

PROPOSAL TO:

MONROE COUNTY BOARD OF COUNTY COMMISSIONERS
c/o PURCHASING DEPARTMENT
1100 SIMONTON STREET
ROOM 2-213
KEY WEST, FLORIDA 33040

PROPOSAL FROM: Solar House

"Tiny House" type: Island Series 640

Specific Site: Big Coppitt Key - Attachment E

The undersigned, having carefully examined the Work and reference Drawings, Specifications, Proposal, and Addenda thereto and other Contract Documents for the construction of:

"TINY HOUSE" CONSTRUCTION AND DEMONSTRATION

and having carefully examined the site where the Work is to be performed, having become familiar with all local conditions including labor affecting the cost thereof, and having familiarized himself/herself with material availability, Federal, State, and Local laws, ordinances, rules and regulations affecting performance of the Work, does hereby propose to furnish all labor, mechanics, superintendents, tools, material, equipment, transportation services, and all incidentals necessary to perform and complete said Work and work incidental hereto, in a workman-like manner, in conformance with said Drawings, Specifications, and other Contract Documents including Addenda issued thereto.

The undersigned further certifies that he/she has personally inspected the actual location(s) of where the Work is to be performed, together with the local sources of supply and that he/she understands the conditions under which the Work is to be performed. The successful proposer shall assume the risk of any and all costs and delays arising from the existence of any subsurface or other latent physical condition which could be reasonably anticipated by reference to documentary information provided and made available, and from inspection and examination of the site.

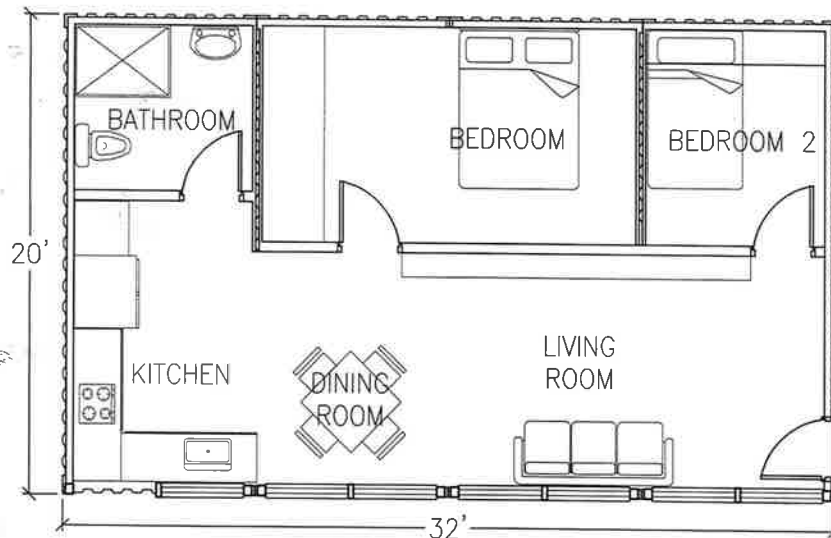
The Base Proposal shall be furnished below in words and numbers. If there is an inconsistency between the two, the Proposal in words shall control.

One hundred fifty-three thousand and six hundred Dollars.
(Total Base Proposal- words)

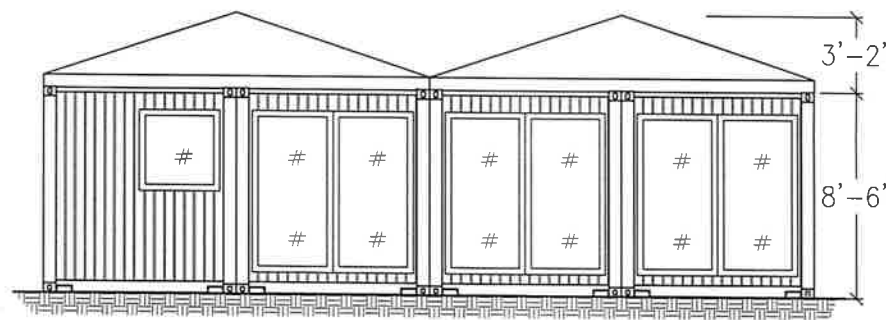
\$ \$ 153,600 Dollars.
(Total Base Proposal - numbers)

N.B.: Submit one (1) PROPOSAL FORM for each site specific proposal. If more than one (1) type is proposed for a site, submit a separate PROPOSAL FORM for each type / site combination.





FLOOR PLAN



ELEVATION

RAS ENGINEERING, P.A.
 374 Avon Boulevard
 HALLANDALE, FL 33009
 PHONE: (954) 455-2454
 FAX: (954) 445-2456
 www.RASocean.com

OWNER:
 MONROE COUNTY
 THE GATE BUILDING
 1100 SIMONTON STREET
 ROOM 2-213
 KEY WEST, FL

Project Name:
**PROPOSED TINY HOUSE
 AT GUDJOE KEY
 RE#00174835-004500
 (ATTACHMENT D)**

No.	Revision/Notes	Date
1	FOR CONTRACTOR	08/17/18
2	DESIGNED	08/17/18
3	CHECKED	08/17/18
4	OWNER'S APPROVAL	

Sheet Title
**SOLAIR HOUSE
 SERIES A-640**

A-640

Sheet: 1 of 1
 Job number: 180803